

The City of Holdrege

Municipal Building
502 East Avenue
P.O. Box 436
Holdrege, NE 68949-0436

308-995-8681
FAX 308-995-5486

city@cityofholdrege.org
www.holdrege.org

Building Permit Applicants

The following procedures will be followed in applying for and receiving a Building Permit.

APPLICATION:

1. An application for Building Permit must be filled out.
An application for Curb Cuts, Sidewalks, Parking Lots, Signs, Awnings, and Fences must be filled out.

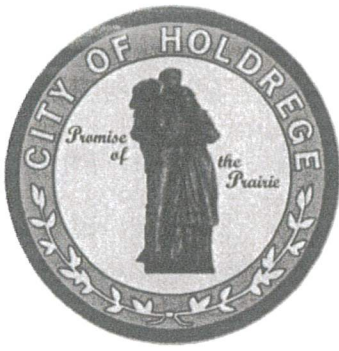
PLANS:

2. A detailed set of plans shall be submitted for all new buildings, structures, additions and alterations showing sufficient data as required by the Building Official. Steps (a) through (e) needs to be completed for Commercial and Industrial zoning. All plans except for single family and two family residential dwellings and accessory uses shall be stamped by an Architect or Engineer and also include a signed and stamped affidavit of code compliance form. Steps (a) and (b) need to be completed for Residential building. All plans shall be to 1/4 scale and include but not limited to the following:
 - a. Site Plan showing dimensions from lot lines and utility locations.
 - b. Footings, foundation, basement plan, wall detail, stair detail, smoke detector locations and egress window schedule and detail.
 - c. Floor plan of all floors, exterior elevation plans, plumbing plans and electrical plans.
 - d. Approval of State Fire Marshall and an Affidavit of Code Compliance. (All but Residential)
 - e. Sidewalk, parking lot, loading areas, curb cut, sign, awning and fence plans. (When Applicable)
3. After receipt of plans and a code review has been completed, a Code of Compliance Review form may be issued for any clarifications, corrections, or changes needed on the plans. Then after the plans have been resubmitted with the necessary clarifications, corrections or changes, a permit will be issued. No construction shall begin until a permit is issued. Applicable codes can be found at r1Av.cityofholdrege.org.
4. Separate sign and/or awning permit is required.
5. Separate plumbing permit is required.
6. Separate curb, sidewalk, fence and parking lot permit is required.
7. After a Building Permit has been issued it is mandatory that the permit will be posted at the job site in a conspicuous place.
8. Address shall be posted at the job site so as to be seen from the street.
9. Required inspections shall have a minimum 24 hour advanced notice.

Return the completed application and documents to the City Offices, 502 East Avenue, PO Box 436, Holdrege NE 68949-0436.

If you require further information from the Building Official, please call 995-8681. If the Building Official is not available, please leave a message and your call will be returned as soon as possible.

Thank you for your cooperation.



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Building and Plumbing Applicants and Contractors:

The following inspections will be required by the City of Holdrege, Building Inspection Division, accompanied with a twenty-four (24) hour notice to the City Offices at 995-8681.

1. Footings — All- Dwelling, Garage, Commercial Building, etc.
2. Rough-in Plumbing — Before covered — underground, under floor, in walls, etc.
3. Sanitary Sewer Connection — When main tap is exposed and before covered.
4. Storm Sewer Connection — When tap is exposed and before covered.
5. Building Sewer — After installation and before covered.
6. Sidewalk Forms — After installation and before concrete is poured.
7. Curb and Gutter Forms — After installation and before concrete is poured.
8. Final — After completion, before being occupied and prior to permanent utility connection.

All constructions, additions, alterations, or repairs for which a permit is required by this Code shall provide a construction address identification sign, unless the facility has a permanent displayed address. Said identification sign shall be a sign of metal, wood, plastic, or other approved rigid material with permanent identification numbers and letters thereon indicating the legally assigned street or other type address assigned by the Building Official. Said identification sign shall have numbers and letters of such size and shall be so placed upon the construction site that said sign is readily visible and identifiable from the public street. Said identification sign shall be properly maintained during the entire period of time that the construction work is being accomplished or maintained. A copy of the issued building permit must be prominently displayed on the principal frontage of the building site close to or upon the building or structure.

Thank you for your cooperation.

**MUNICIPAL SERVICES DEPARTMENT
BUILDING INSPECTION DIVISION
APPLICATION FOR BUILDING PERMIT**

LOCATION OF BUILDING

ADDRESS _____ ZONING DISTRICT _____

SUBDIVISION _____ LOT _____ BLOCK _____ LOT SIZE _____

TYPE AND COST OF BUILDING / SELECTED CHARACTERISTICS OF BUILDING

A. TYPE OF IMPROVEMENT

- 3 New Building
3 Addition (If residential, enter number of new housing units added if any, in Part E)
3 Alteration (Same as above)
3 Repair, replacement
3 Wrecking
3 Moving (Relocation)
3 Foundation only

B. COST

Total Cost \$ _____

C. NONRESIDENTIAL

Number of stories _____
Type of construction _____
Occupancy Group _____
Main Floor Area _____
Above Main Level Area _____
Basement Floor Area _____
Total Floor Area _____

D. TYPE OF MECHANICAL

- Will there be central air conditioning?
☐ Yes ☐ No
Will there be an elevator?
☐ Yes ☐ No

E. PROPOSED USE - RESIDENTIAL

- ☐ One Family
☐ Two or more family - # of units _____
☐ Hotel or Motel - # of units _____
☐ Garage
☐ Carport
☐ Other - Specify _____

F. DIMENSIONS - RESIDENTIAL

Number of Stories _____
Main Floor Area _____
Above Main Level Area _____
Basement Floor Area _____
Garage Floor Area _____
Total Floor Area _____

G. RESIDENTIAL BUILDINGS ONLY

Number of Bedrooms _____
Number of Bathrooms:
 Full _____
 Partial _____

H. PRINCIPAL TYPE OF FRAME

- ☐ Masonry (Wall Bearing)
☐ Wood **Frame**
☐ Structural Steel
☐ Reinforced Concrete
☐ Other - Specify _____

I. PRINCIPAL TYPE OF HEAT

- ☐ Gas
☐ Oil
☐ Electricity
☐ Other - Specify _____

J. TYPE OF WATER SUPPLY

- ☐ Public or Private Company
☐ Private (Well or Cistern)

K. TYPE OF SEWAGE DISPOSAL

- ☐ Public or Private Company
☐ Private (Septic Tank, etc.)

**L. NUMBER OF OFF STREET
PARKING SPACES**

Enclosed _____
Outdoor _____
Handicap _____

IDENTIFICATION

NAME OF OWNER OF LESSEE	MAILING ADDRESS AND PHONE NUMBER
NAME OF CONTRACTOR	MAILING ADDRESS AND PHONE NUMBER
NAME OF ARCHITECT OR ENGINEER	MAILING ADDRESS AND PHONE NUMBER

The person signing this application for permit and the person receiving and accepting the permit to construct said project certifies that they are familiar with the building and zoning codes of the City and that the project will be constructed in compliance with the City Building Code, zoning regulations, State of Nebraska codes and all other applicable codes.

I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and we agree to all applicable laws of this jurisdiction.

Printed Name of Applicant: _____

Signature of Applicant: _____

Application Date: _____

AFFIDAVIT OF CODE COMPLIANCE

To: Holdrege Municipal Services
Building Inspection Department
City of Holdrege
PO Box 436
Holdrege NE 68949-0436

Date _____

The attached plans and specifications for the construction of a structure, building and/or buildings at the following address: _____
and legally described as: _____

in Phelps County, Nebraska, have been prepared in compliance with the requirements of the current codes of the City of Holdrege, and this "Affidavit" is signed as an acknowledgment of fact.

A. BUILDING CODE

Design factors of this structure are:

	<u>FILL IN</u>	<u>SIGNATURE</u>
Wind Load — 90 mph, Exposure B (Minimum) - -		_____
Roof Design Load — 30 lbs per square ft (Minimum)	_____	_____
Ground Snow Load - 25 lbs per square ft (Minimum)	_____	_____
Occupancy Classification -----		_____
Type of Construction -----		_____
Occupancy Load -----		_____
Fire Sprinkler Required -----	Yes <input type="checkbox"/> No <input type="checkbox"/>	_____
Square Footage of Main Floor -----	_____	_____
Square Footage of Basement -----	_____	_____
Square Footage of Upper Floor -----	_____	_____
Basic Allowable Square Footage under IBC- - -	_____	_____
Additional Allowable Square Footage permitted by IBC	_____	_____
Plans have been reviewed and approved by the State Fire Marshall's Office -----	Yes <input type="checkbox"/> No <input type="checkbox"/>	_____
Project designed to meet Nebraska Accessibility Guidelines -----	Yes <input type="checkbox"/> No <input type="checkbox"/>	_____

Nebraska Architectural
or Engineering Seal

A. BUILDING CODE:

Project Designed to meet the 2009 International Building Code including Appendixes, International Energy Conservation Code and City Codes

Signed _____ SEAL
Registration or License # _____

B. PLUMBING CODE:

2009 Uniform Plumbing Code including Appendixes and City Codes

Signed _____ SEAL
Registration or License # _____

HOUSE WALL DETAIL

Roof Assembly:

- Roof vents _____
- Shingles _____
- Tar Paper _____

Attic Assembly:

- Rafters _____
- Ceiling Joist _____
- Attic Insulation R-Value _____

Wall Assembly:

- Sheathing used _____
- Fasia Material _____
- Soffitt Material _____
- Weather Resistive Barrier**
- Insulation R-Value _____
- Exterior finish _____
- Sheating _____
- Stud sizing and spacing _____

Sub Floor Assembly:

- Sub Flooring _____
- Rim Joist _____

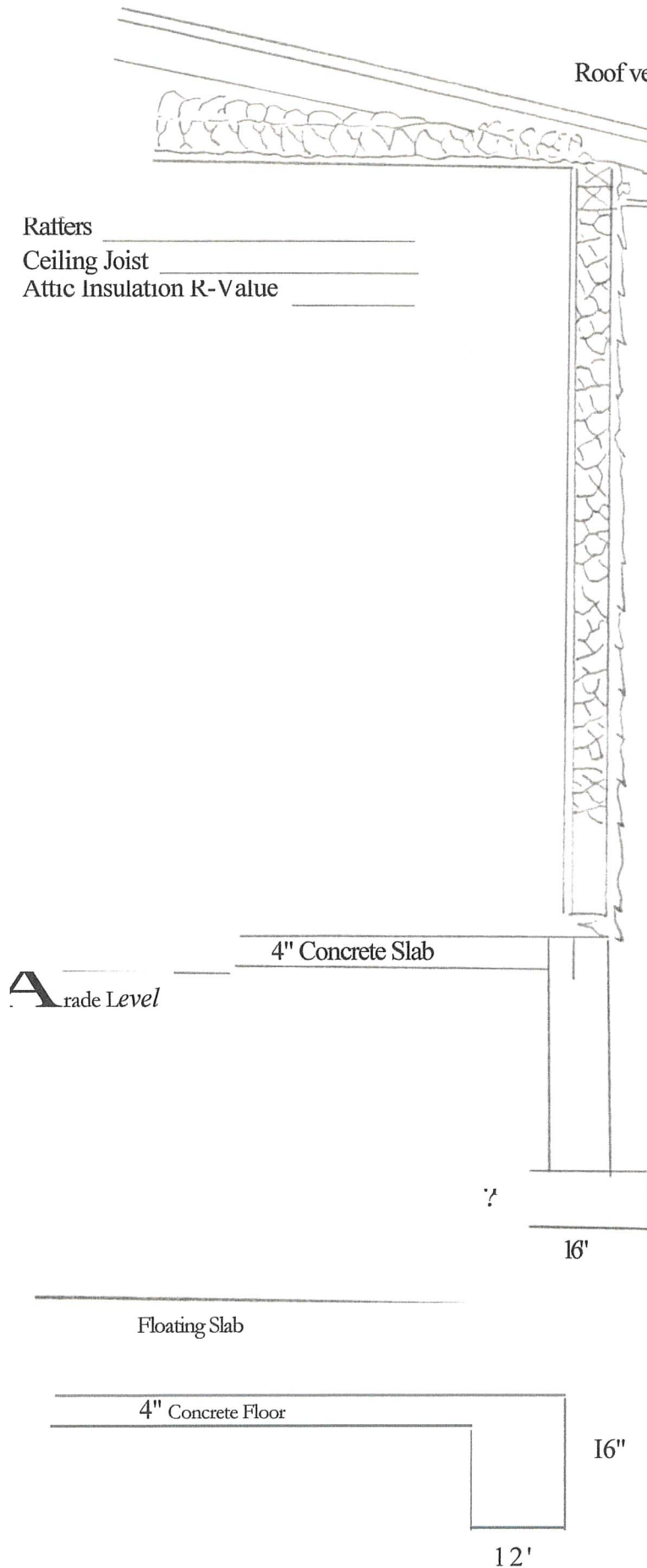
Foundation Assembly:

- Sill Sealer**
- Treated Sill plate _____
- 1/2" bolt embedded 7" into concrete spaced 6' on center within 12" each direction of corners.
- Foundation coating (2 coats) _____
- Number of concrete block coarses _____
- Size of blocks used _____
- Size of blocks used for brick veneer _____
- Corbal blocks for brick veneer are not allowed**
- Depth of footing below grade _____
- Size of footings _____
- Size of footings for brick veneer _____

Basement Details:

- Floor joist sizing and spacing _____
- Bridging** _____
- Height of finished basement _____
- Insulation R-Value in basement _____
- 4" concrete floor

GARAGE WALL DETAIL



Rafters _____
 Ceiling Joist _____
 Attic Insulation R-Value _____

Roof vents _____
 Shingles _____
 Tar Paper _____

Sheathing used _____
 Fasia Material _____
 Soffitt Material _____

Weather Resistive Barrier
 Insulation R-Value _____
 Exterior finish _____
 Sheathing _____
 Stud sizing and spacing _____

One hour fire wall required between the
 garage and house.

Kim Joist _____

Sill Sealer
 Treated Sill plate _____
 1/2" bolt embedded 7" into concrete spaced
 6' on center within 12" each direction of corners.

Floating Slab Size _____
 Footing Size _____

Number of concrete block coarses _____
 Size of blocks used _____
 Size of blocks used for brick veneer _____

Corbal blocks for brick veneer are not allowed

Floating Slab

4" Concrete Floor

16"

12'

Depth of footing below grade _____
 Size of footings _____
 Size of footings for brick veneer _____

STAIR DETAIL

Size and Type

Treads: _____

Risers: _____

Stringers: _____

Handrails with ends

Returned to wall: _____

maximum spacing
between spindles: _____

Minimum 6'8" headroom

